

KOSURI RESIDENCE RENOVATION

119 6TH STREET, SE
WASHINGTON, DC 20003

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BYRD DESIGN + BUILD
6109 Falls Road
Baltimore, MD 21209
443.823.9759 phone

Seal:

| | | |
|---|--|---|
| OWNER | DESIGNER | STRUCTURAL ENGINEER |
| ROOPA & KANAK KOSURI 119 6TH STREET, SE WASHINGTON, DC 20003 P: 917.519.2538 | BYRD DESIGN + BUILD 6109 FALLS RD BALTIMORE, MD 21209 P: 443.823.9759 | SKARDA & ASSOCIATES 2439 N. CHARLES STREET BALTIMORE, MD 21218 P: 410.366.9384 |

| | | | |
|----------------------|--|------------------|-------------------------|
| GENERAL NOTES | GENERAL PROJECT & CODE INFO | SITE PLAN | LIST OF DRAWINGS |
|----------------------|--|------------------|-------------------------|

1. No work shall be started before permit has been issued.
 2. Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify, and be responsible for all dimensions and conditions on the job this office must be notified of any variations from dimensions and conditions shown by these drawings. Shop drawings and submittals to be submitted to the Architect prior to fabrication and installation.
 3. All interior partitions are dimensioned from finish face to finish face unless otherwise noted. All dimensions marked "hold" or "clear" shall be maintained as indicated.
 4. Dimensions locating doors are to inside edge of jamb. Door frames to be set 4" adjacent wall unless noted otherwise or dimensioned.
 5. Large scale drawings take precedence over small scale, details take precedence over all. Contractor shall notify Architect in writing of any discrepancies.
 6. All exterior dimensions are to centerline of openings and outside face of building sheathing.
 7. Contractor shall coordinate and provide blocking in partitions for all millwork and wall attached items.
 8. "Typical" or "typ." shall mean that the condition is representative for similar conditions throughout, unless noted otherwise. Details are usually keyed and noted "typ." only once, when they first occur.
 9. Do not scale drawings.
 10. All finishes must have a flame spread rating of 200 or less and smoke generation of 450 or less (tenant space only).
 11. All work shall conform to the requirements of all local and state codes. Local and state codes are to take precedence over the drawings and specifications. If a discrepancy is noted, inform the Architect immediately, before proceeding with the work.
 12. The Contractor shall verify that drawings are the latest issue prior to commencing construction.
 13. If Contract Drawings and Specification are at variance with one another on a particular item or items, Contractor shall base his proposal on the better quality or more expensive of the conditions indicated or noted. An item or equipment specified under one trade shall be binding as if specified under all applicable trades.
 14. All new overhead and under slab plumbing, ductwork, wiring, etc. shall be tight to the structure above.
 15. All new plumbing installed outside of the conditioned tenant space shall be insulated, as required.
 16. Contractor shall provide all materials of best quality of the kind shown or specified and shall perform the work in a perfect and workman like manner according to normal and reasonable practices of the trade.
 17. Contractor shall visit the site to acquaint themselves with the existing conditions and shall include any and all items of work and materials which are evidently necessary for the work shown. Even though such items may not be expressly shown or specified, in addition contractor shall refer to structural, mechanical and electrical drawings for work that may extend beyond the architectural limit of work.
 18. Provide blocking as required at all wall hung items (cabinets, shelves, door stops, etc...) in new walls. In existing walls, provide sufficient mounting anchorages for wall mounted items by securing to existing studs or opening walls as required to install necessary blocking.
 19. At completion of construction contractor to clean all areas of debris, dirt, dust, etc. and prepare the area for its intended use.
 20. The Contractor is responsible for filling all voids in walls, ceilings and floors to within 1/4" of each penetration with material to match the adjacent surfaces and/or construction, unless tighter clearance are required by code.

OWNERS: ROOPA & KANAK KOSURI
ADDRESS: 119 6TH STREET, SE
 WASHINGTON, DC 20003
TAX ID: -----
PARCEL #: 0842 0831
LOT #: 0831

BUILDING INFORMATION:

ZONING: RF-3

Front Yard Required: TO BE IN RANGE OF EXIST. FRONT SETBACKS
Side Yard Required: 0'-0"
Rear Yard Required: 20'-0"
Max Height: 40'-0" (3-STORY)

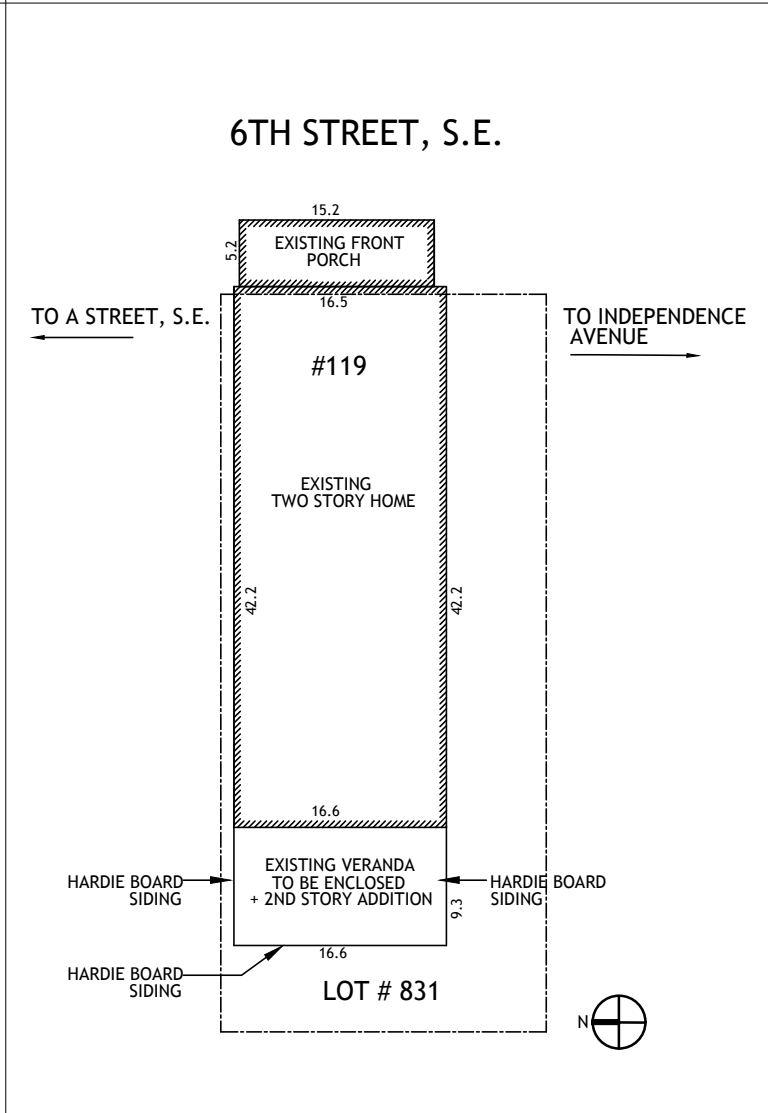
ADDITIONAL BUILDING AREA: LOWER LEVEL 122 sq.ft.
 2nd LEVEL 122 sq.ft.

BUILDING HEIGHT: 20'-8"

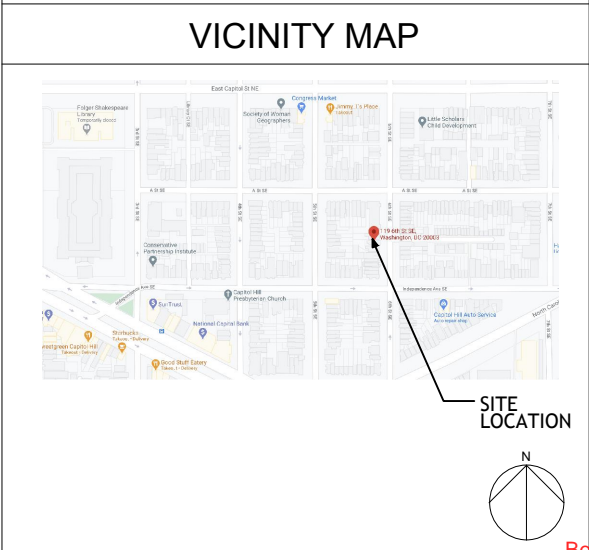
FIRE SUPPRESSION:
 EXISTING: NO
 PROPOSED: NO

APPLICABLE CODES:

2018 INTERNATIONAL RESIDENTIAL CODE
 2018 INTERNATIONAL MECHANICAL CODE
 2018 NATIONAL BUILDING PLUMBING CODE
 2018 INTERNATIONAL ENERGY CONSERVATION CODE



- CS COVER SHEET**
- ARCHITECTURAL**
- A101 DEMOLITION PLANS
 - A102 NEW WORK PLANS
 - A103 NEW ELECTRICAL & RCP PLANS
 - A201 EXTERIOR ELEVATIONS & DETAILS
 - A401 INTERIOR ELEVATIONS
 - A402 SCHEDULES
- STRUCTURAL:**



PRESERVATION NOTES

- A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
- The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features at spaces that characterize a property shall be avoided.
- Each property shall be recognized as a physical record of its time, place and use. Changes that recreate a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
- Most properties change over time, those changes that have acquired historical significance in their own right shall be retained and preserved.
- Distinctive features, finishes and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
- Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture and other visual qualities and where possible, materials. Replacement of missing features shall be substantiated by documentary physical, or pictorial evidence.
- Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means.
- New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size and architectural features to protect the historic integrity of the property and its environment.

KOSURI RESIDENCE RENOVATION
 119 6TH STREET, SE
 WASHINGTON, DC 20003

DRAWN BY: AG **CHECKED:** N/A

CONSULTANTS

| NO. | DESCRIPTION | DATE |
|-----|-------------|------|
| | | |

REVISIONS

SHEET TITLE

COVER SHEET

| SCALE | DATE | PROJ. # |
|----------|------------|---------|
| AS NOTED | 03/31/2021 | BLANK |

PROJECT PHASE

PERMIT

DRAWING #

CS

Board of Zoning Adjustment
 District of Columbia
 CASE NO.20689
 EXHIBIT NO.3

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Approval Stamp:

| FLOOR PLAN LEGEND | |
|-------------------|-------------------------|
| | EXISTING WALL TO REMAIN |
| | REMOVE/DEMO |
| | NEW WALL |
| | DEMOLITION KEYNOTE |
| | NEW/PROPOSED KEYNOTE |
| | EQUIPMENT KEYNOTE |
| | DOOR TAG |
| | EXISTING TO REMAIN |

- DEMOLITION NOTES:**
- ① EXISTING STAIRS TO REMAIN. RE-FINISH BANISTERS
 - ② KEEP EXISTING RADIATOR
 - ③ REMOVE EXISTING FIXTURES, LIGHTS, FLOORING
 - ④ EXISTING SKYLIGHT TO REMAIN
 - ⑤ EXISTING WINDOW TO REMAIN
 - ⑥ EXISTING DOOR TO REMAIN
 - ⑦ REMOVE EXISTING ROOFTOP PATIO
 - ⑧ REMOVE EXISTING WINDOW, ADD NEW TALLER WINDOW. DEMO AS NEEDED FOR NEW WINDOW
 - ⑨ REMOVE EXISTING WINDOW, ADD NEW SHORTER WINDOW PATCH AS NEEDED FOR NEW SHORTER WINDOW
 - ⑩ EXISTING FLOORING TO REMAIN
 - ⑪ KEEP/REUSE EXISTING RADIATOR, POSSIBLY
 - ⑫ REMOVE EXISTING CABINETRY
 - ⑬ KEEP/ REUSE EXISTING 36" REFRIGERATOR
 - ⑭ RADIANT HEAT FLOORING TO REMAIN
 - ⑮ REUSE EXISTING WOOD PANELS FOR NEW KITCHEN CEILING

KOSURI RESIDENCE RENOVATION
 119 6TH STREET, SE
 WASHINGTON, DC 20003

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CONSULTANTS

NO. DESCRIPTION DATE

REVISIONS

SHEET TITLE

DEMOLITION PLANS

SCALE DATE PROJ. #

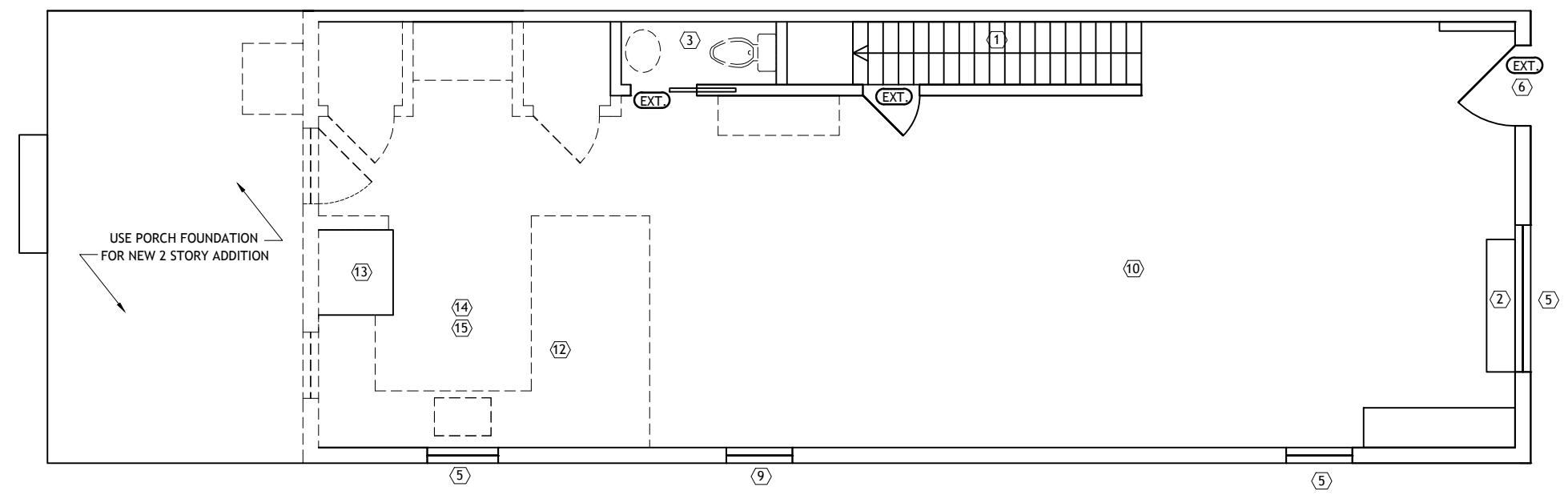
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PROJECT PHASE

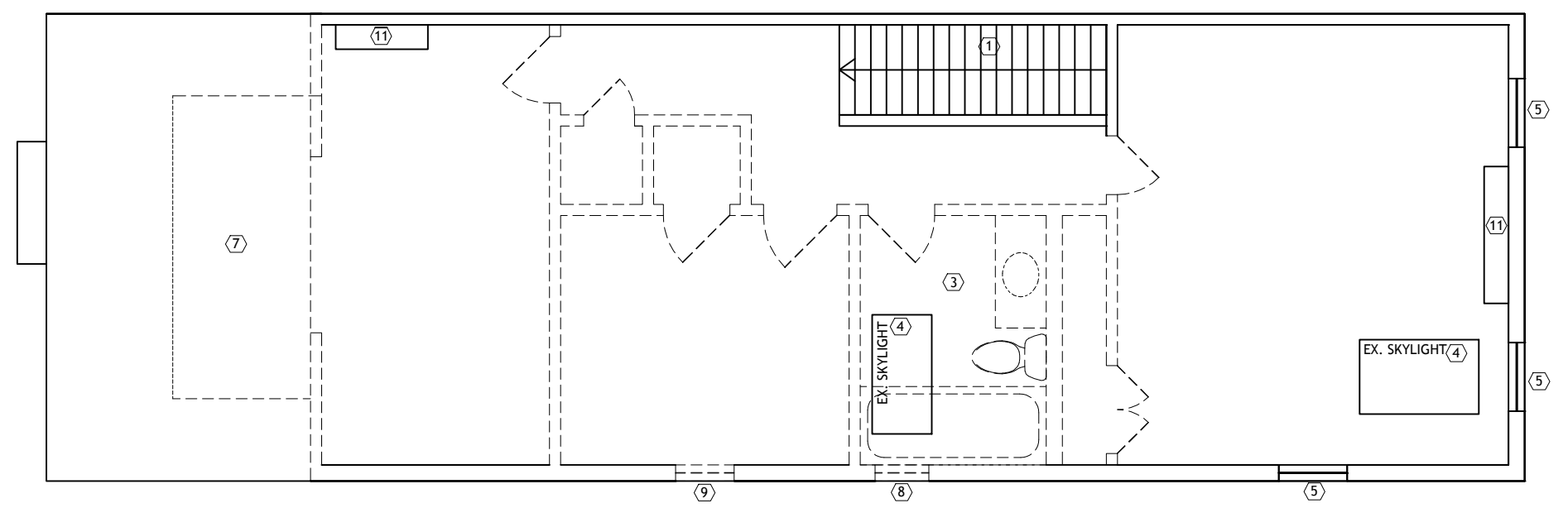
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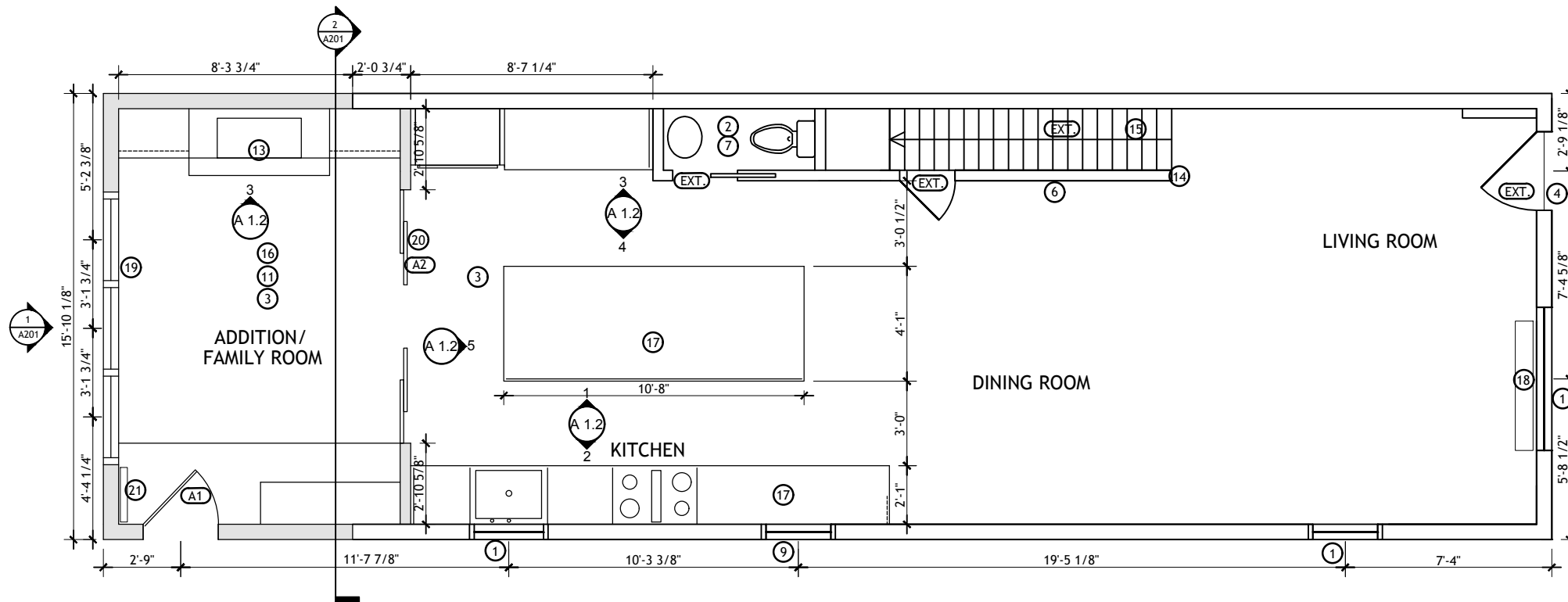
A101



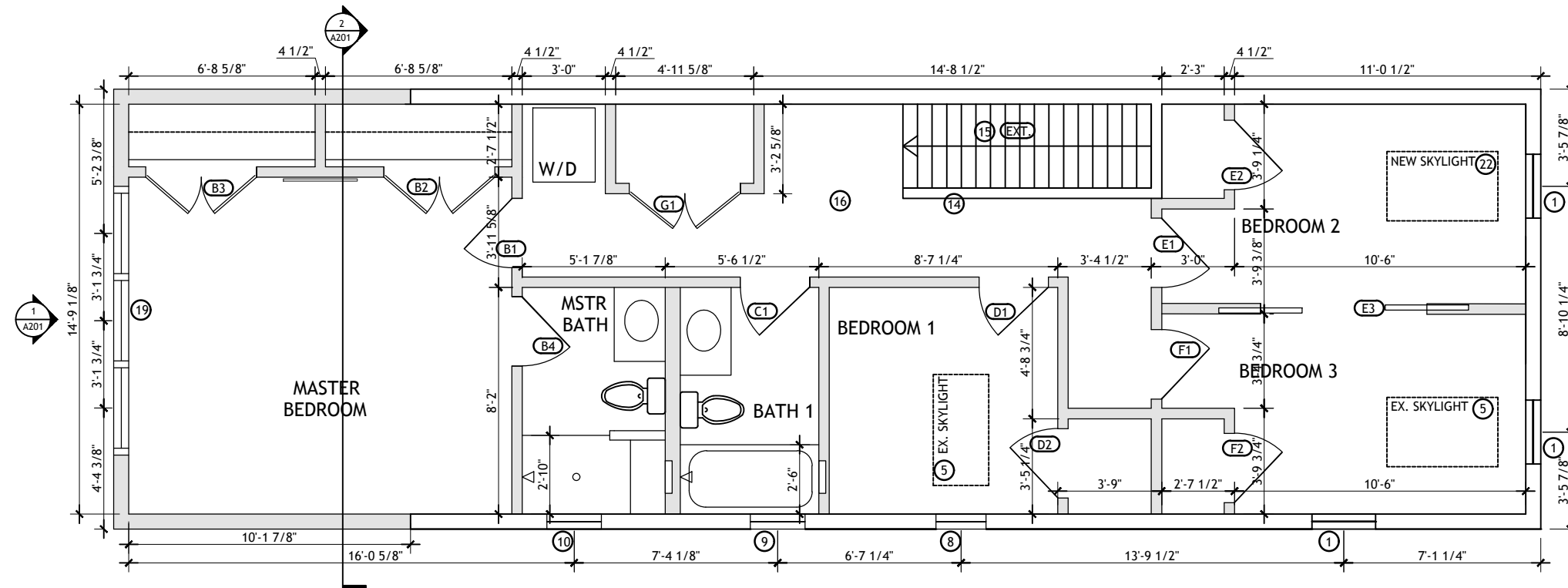
1ST FLOOR- DEMOLITION PLAN
SCALE: 3/16" = 1'-0"



2ND FLOOR- DEMOLITION PLAN
SCALE: 3/16" = 1'-0"



1ST FLOOR- PROPOSED PLAN
SCALE: 3/16" = 1'-0"



2ND FLOOR- PROPOSED PLAN
SCALE: 3/16" = 1'-0"

| FLOOR PLAN LEGEND | |
|-------------------|-------------------------|
| | EXISTING WALL TO REMAIN |
| | REMOVE/DEMO |
| | NEW WALL |
| | DEMOLITION KEYNOTE |
| | NEW/PROPOSED KEYNOTE |
| | EQUIPMENT KEYNOTE |
| | DOOR TAG |
| | EXISTING TO REMAIN |

- NEW/PROPOSED NOTES:**
- 1 REFINISH EXISTING WINDOW FRAMES, SASHES, SILLS, TRIM.
 - 2 NEW SINK, TOILET, LIGHTS
 - 3 NEW DRYWALL CEILING, KEEP SOME OF THE EXISTING NATURAL WOOD BEAMS
 - 4 REFINISH EXISTING DOOR, FRAME, TRIM
 - 5 EXISTING SKYLIGHT TO REMAIN
 - 6 NEW STORAGE PULL-OUTS UNDER STAIRS
 - 7 NEW MARBLE FLOORING
 - 8 NEW TALLER WINDOW IN EXISTING WINDOW OPENING
 - 9 NEW SHORTER WINDOW IN EXISTING WINDOW OPENING PATCH OPENING AS NEEDED
 - 10 NEW WINDOW
 - 11 NEW ELECTRICAL IN ADDITION/FAMILY ROOM
 - 12 NOT USED
 - 13 NEW GAS FIREPLACE W/ DECORATIVE MOULDING
 - 14 REFINISH EXISTING BANISTERS
 - 15 EXISTING STAIRS TO REMAIN
 - 16 NEW HARDWOOD FLOORING- WOVEN IN TO MATCH EXISTING HARDWOOD FLOORING
 - 17 QUARTZITE COUNTERTOP
 - 18 EXISTING RADIATOR TO REMAIN
 - 19 NEW FULL HEIGHT WINDOWS
 - 20 NEW 3-PANEL SLIDING GLASS DOORS
 - 21 NEW RADIATOR
 - 22 NEW SKYLIGHT TO MATCH EXISTING IN THAT ROOM

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CONSULTANTS

| NO. | DESCRIPTION | DATE |
|-----|-------------|------|
| | | |

REVISIONS

SHEET TITLE

NEW WORK PLANS

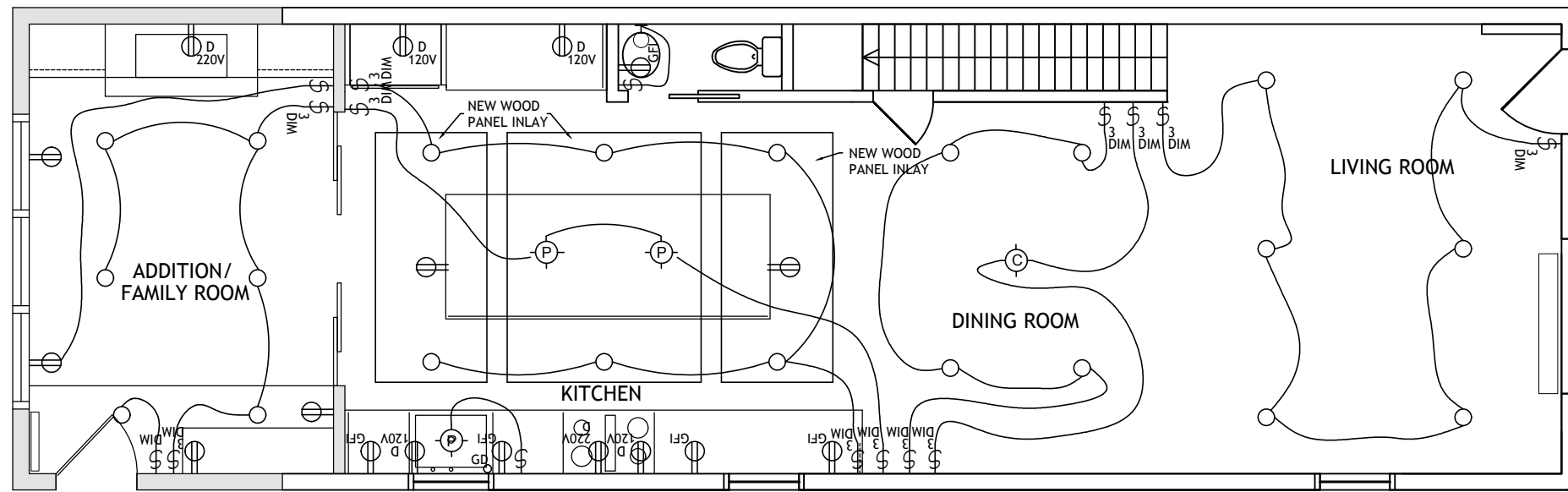
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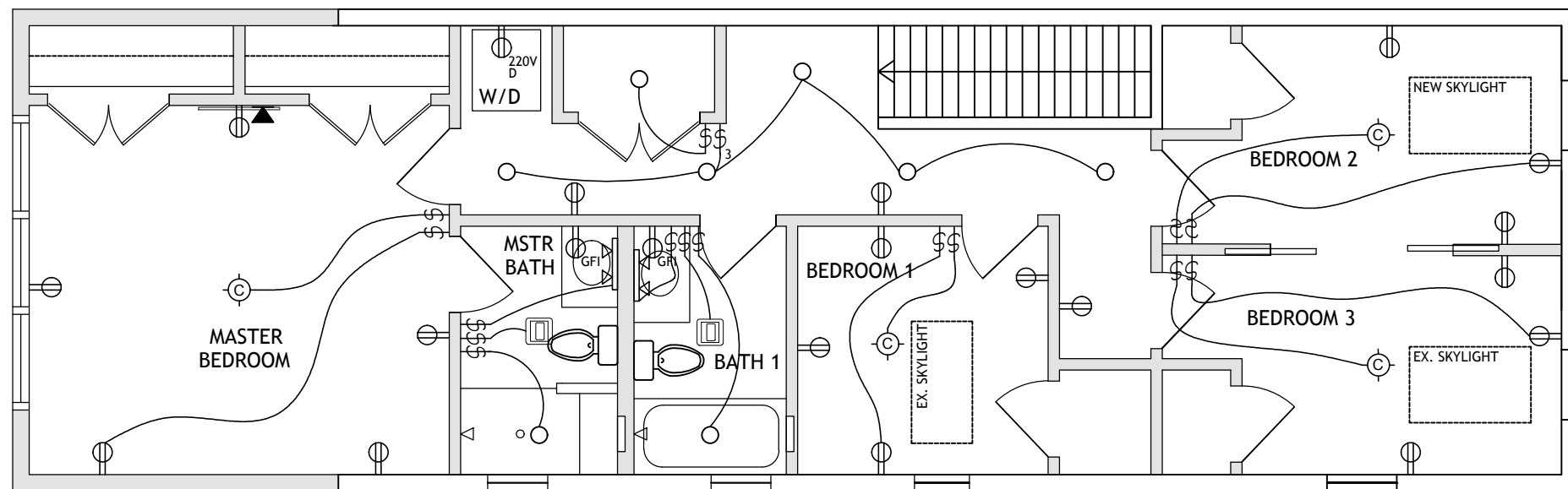
PERMIT

DRAWING #

A102



1ST FLOOR- RCP & ELEC PLAN
SCALE: 3/16" = 1'-0"



2ND FLOOR- RCP & ELEC PLAN
SCALE: 3/16" = 1'-0"

ELECTRICAL LEGEND

- RECESSED DOWNLIGHT/CAN
- WALL SCNCE
- C CHANDELIER
- P PENDANT
- 3 3-WAY SWITCH
- SWITCH
- GD GARBAGE DISPOSAL AIR SWITCH
- 3 3-WAY DIMMER SWITCH
- DIM DIMMER SWITCH
- ▲ CABLE JACK
- ▽ TELEPHONE JACK/ INTERNET
- GFI GFI OUTLET
- 120V 120V OUTLET
- 120V 120V OUTLET
- D DEDICATED DUPLEX OUTLET
- GFI D DEDICATED GFI OUTLET
- 220V D DEDICATED 220V OUTLET
- DUPLEX OUTLET
- ▽ VANITY LIGHT FIXTURE
- EXHAUST FAN/LIGHT COMBO

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NO. DESCRIPTION DATE

REVISIONS

SHEET TITLE

**NEW ELECTRICAL
AND RCP PLANS**

SCALE DATE PROJ. #

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PROJECT PHASE

PERMIT

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A103

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 RENOVATION**
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 WASHINGTON, DC 20003

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|-----|-------------|------|
| | | |

REVISIONS

SHEET TITLE
 REAR ELEVATION

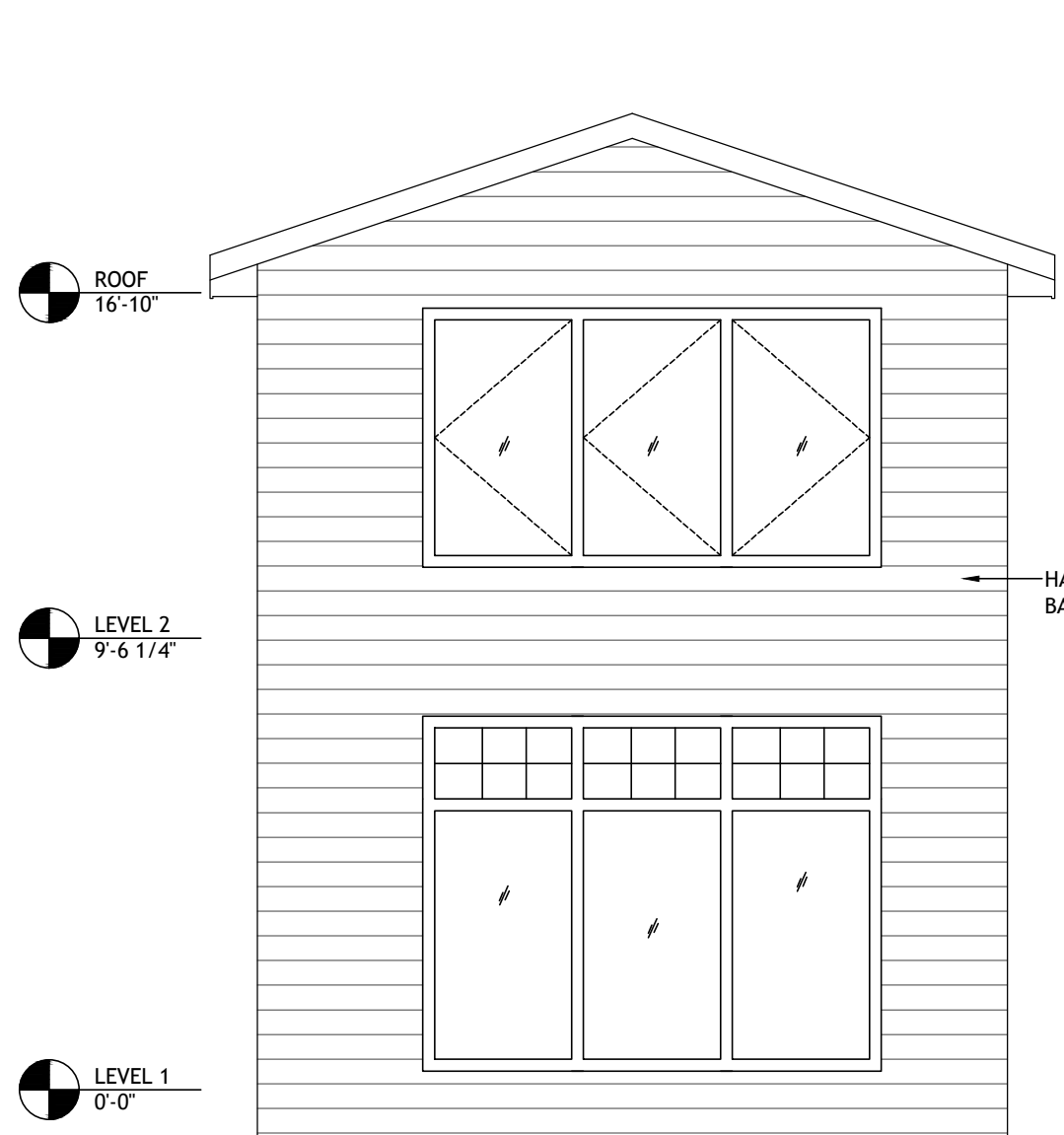
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PROJECT PHASE

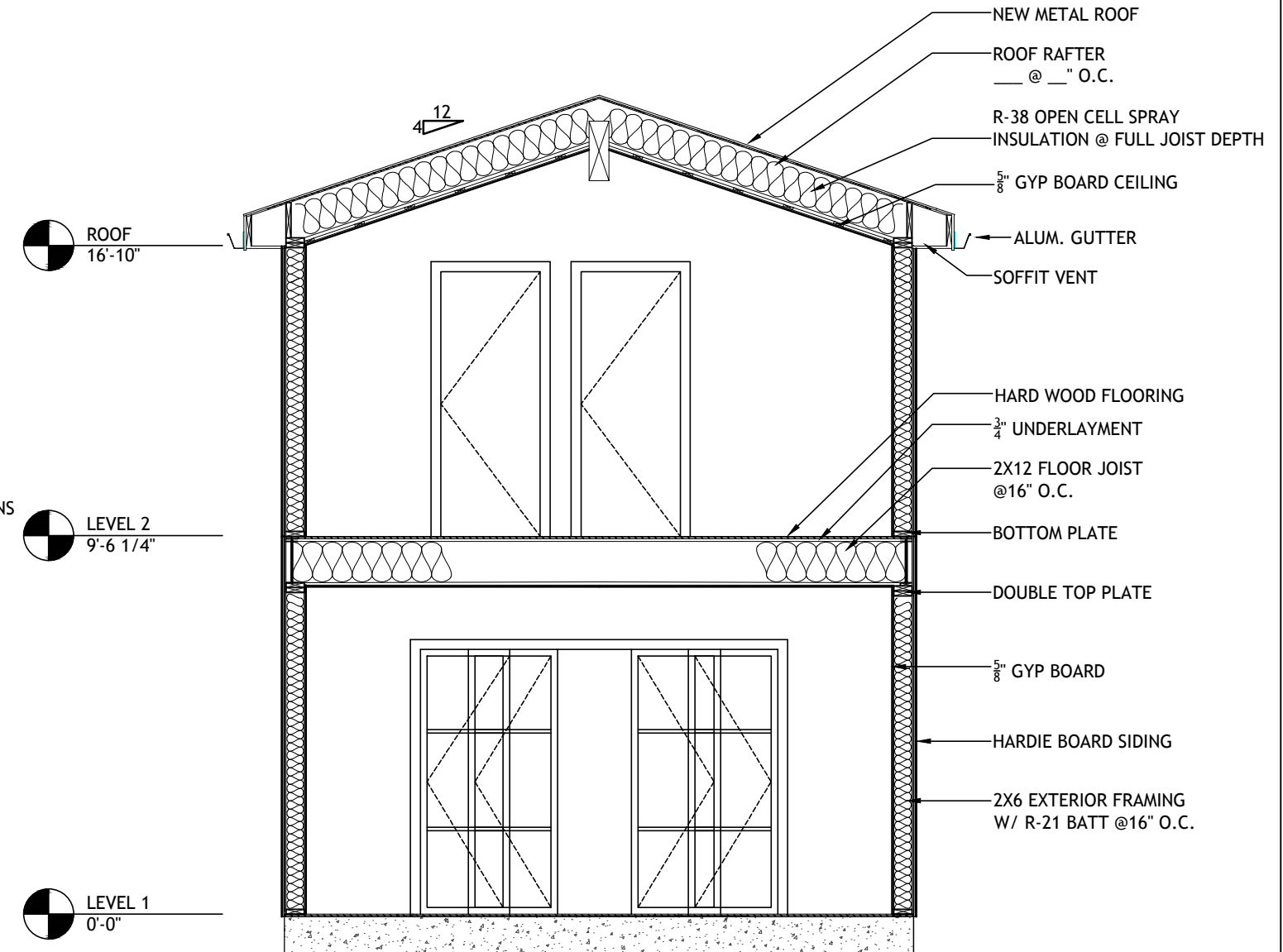
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DRAWING #

A201



1 PROPOSED REAR ELEVATION
 SCALE: 1/4" = 1'-0"



2 BUILDING SECTION
 SCALE: 1/4" = 1'-0"

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RENOVATION

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WASHINGTON, DC 20003

DRAWN BY: AG CHECKED: N/A

CONSULTANTS

NO. DESCRIPTION DATE

REVISIONS

SHEET TITLE
INTERIOR ELEVATIONS

SCALE DATE PROJ. #

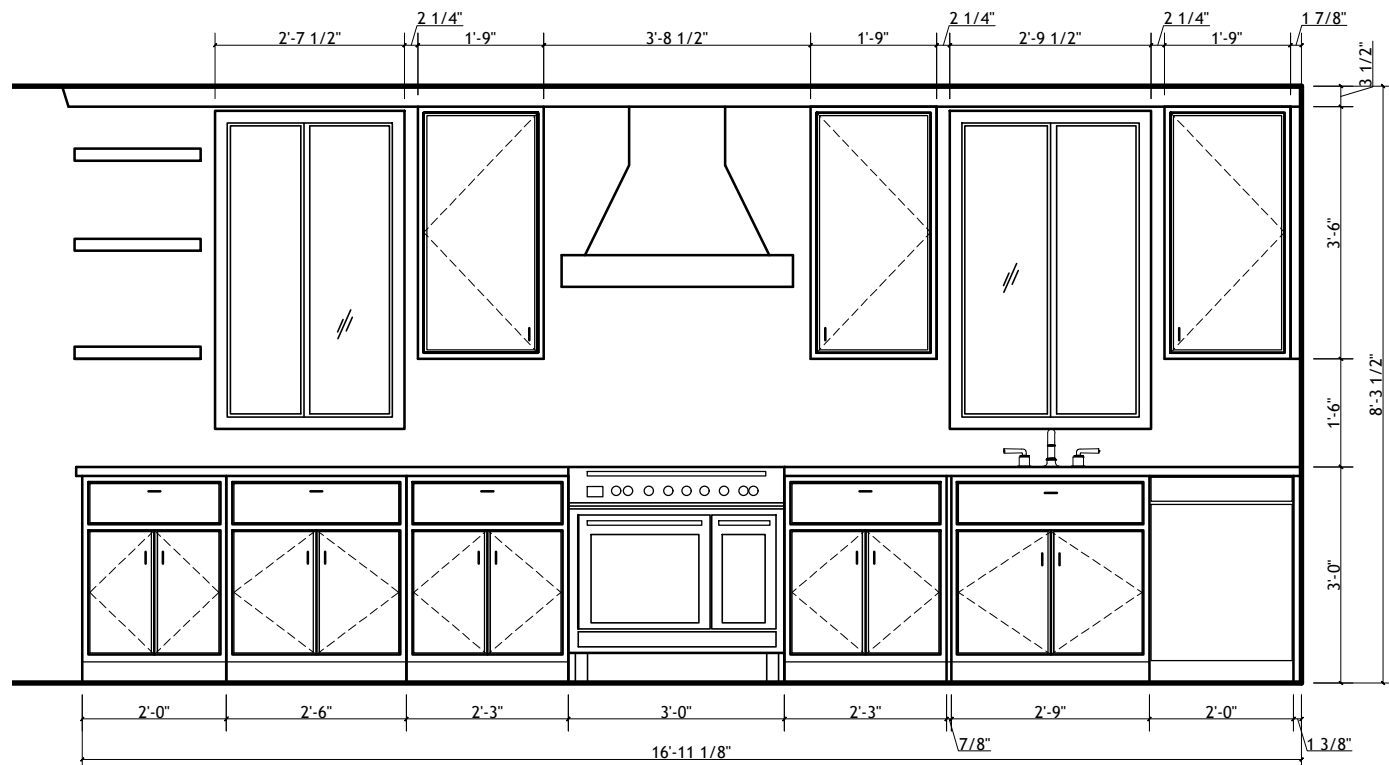
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PROJECT PHASE

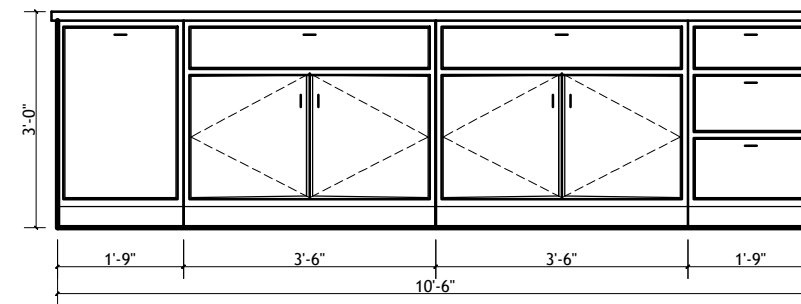
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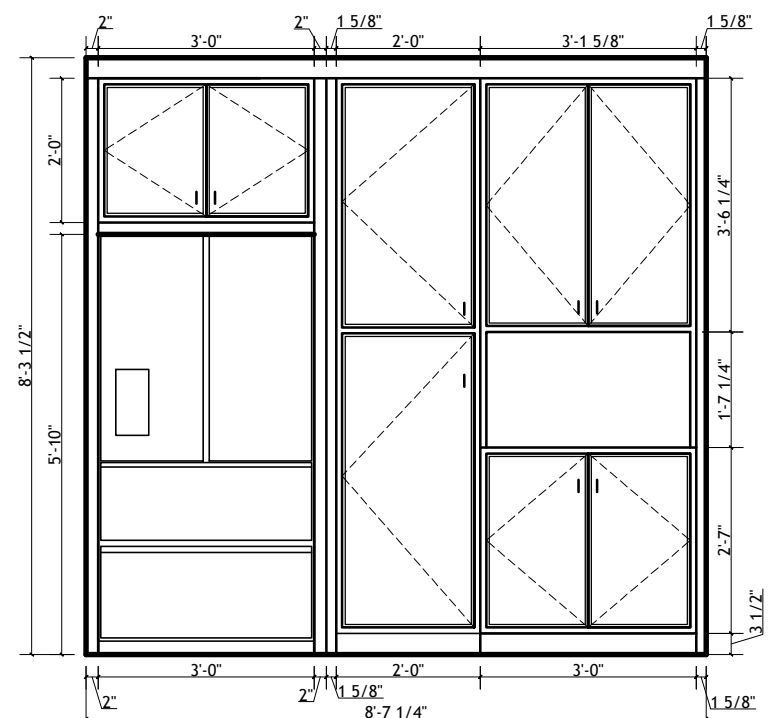
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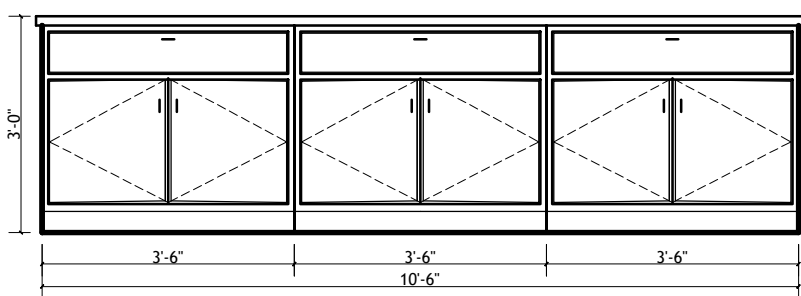
1 SOUTH ELEVATION-KITCHEN
SCALE: 3/8" = 1'-0"



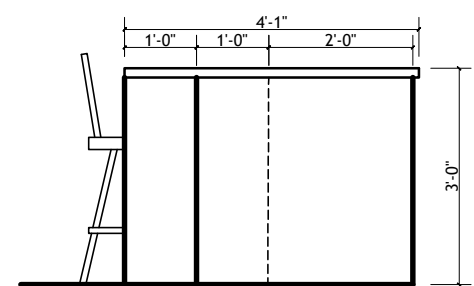
2 NORTH ELEVATION-ISLAND
SCALE: 3/8" = 1'-0"



3 NORTH ELEVATION-KITCHEN
SCALE: 3/8" = 1'-0"



4 SOUTH ELEVATION-ISLAND
SCALE: 3/8" = 1'-0"

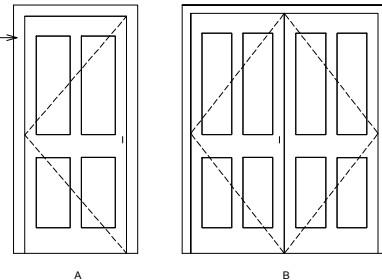


5 SOUTH ELEVATION-ISLAND
SCALE: 3/8" = 1'-0"

DOOR SCHEDULE

| DOOR # | ROOM NAME | DOOR TYPE | DIMENSION | DOOR MATERIAL | DOOR FINISH | TRIM FINISH | HARDWARE | NOTES |
|--------|----------------|----------------|-------------------|---------------|-------------|-------------|----------|---------------------------|
| A1 | FAMILY ROOM | EXTERIOR | 2'-8" X 6'-8" | VINYL | PAINT | WOOD | - | - |
| A2 | FAMILY ROOM | 4-PANEL SLIDER | 9'-0" X 6'-8" | METAL | - | - | - | - |
| EXT | POWDER ROOM | - | EXISTING | - | - | - | - | - |
| EXT | DINING ROOM | - | EXISTING | - | - | - | - | - |
| EXT | LIVING ROOM | - | EXISTING | - | - | - | - | - |
| B1 | MASTER BEDROOM | A | 2'-6" X 6'-8" | WOOD | PAINT | WOOD | - | - |
| B2 | MASTER BEDROOM | B | (2) 2'-0" X 6'-8" | WOOD | PAINT | WOOD | - | - |
| B3 | MASTER BEDROOM | B | (2) 2'-0" X 6'-8" | WOOD | PAINT | WOOD | - | - |
| B4 | MASTER BATH | A | 2'-6" X 6'-8" | WOOD | PAINT | WOOD | - | - |
| C1 | BATHROOM 1 | A | 2'-6" X 6'-8" | WOOD | PAINT | WOOD | - | - |
| D1 | BEDROOM 1 | A | 2'-6" X 6'-8" | WOOD | PAINT | WOOD | - | - |
| D2 | BEDROOM 1 | A | 2'-6" X 6'-8" | WOOD | PAINT | WOOD | - | - |
| E1 | BEDROOM 2 | A | 2'-6" X 6'-8" | WOOD | PAINT | WOOD | - | - |
| E2 | BEDROOM 2 | A | 2'-6" X 6'-8" | WOOD | PAINT | WOOD | - | - |
| E3 | BEDROOM 2 | - | (2) 3'-0" X 6'-8" | WOOD | PAINT | WOOD | - | DOUBLE SLIDER POCKET DOOR |
| F1 | BEDROOM 3 | A | 2'-6" X 6'-8" | WOOD | PAINT | WOOD | - | - |
| F2 | BEDROOM 3 | A | 2'-6" X 6'-8" | WOOD | PAINT | WOOD | - | - |
| G | HALL CLOSET | B | (2) 2'-0" X 6'-8" | WOOD | PAINT | WOOD | - | - |

WOOD DOOR CASING -
MATCH EXISTING PAINT.



LOCKSET 1 (TOILET ROOMS)
3 HINGES
LOCKSET- PRIVACY SET
WALL STOP
SILENCER

LOCKSET 2
3 HINGES
LOCKSET- PASSAGE SET
WALL STOP
SILENCER

FINISH SCHEDULE

| ROOM NAME | FLOORING | WALLS | ACCENT WALL | CEILING TYPE | CEILING FINISH | TRIM | CROWN MOLDING | NOTES |
|-----------------|-----------|-----------|-------------|--------------|----------------|------|---------------|-------|
| FAMILY ROOM | HW-1 | P-1 | WP-1 | DRYWALL | P-3 | P-2 | - | - |
| KITCHEN | REFINISH | P-1 | T-1 | DRYWALL | SEE CLG PLAN | P-2 | - | - |
| POWDER ROOM | MB-1 | T-2, WP-1 | - | DRYWALL | P-3 | P-2 | - | - |
| DINING ROOM | REFINISH | P-1 | P-1 | EXISTING | EXISTING | P-2 | - | - |
| LIVING ROOM | REFINISH | P-1 | - | EXISTING | EXISTING | P-2 | - | - |
| MASTER BEDROOM | REFINISH | P-1 | - | DRYWALL | P-3 | P-2 | - | - |
| MASTER BATHROOM | T-3 | T-4, P-4 | - | DRYWALL | P-3 | P-2 | - | - |
| BATHROOM 1 | T-5 | T-6, P-4 | - | DRYWALL | P-3 | P-2 | - | - |
| BEDROOM 1 | REFINISH | P-1 | - | DRYWALL | P-3 | P-2 | - | - |
| BEDROOM 2 | REFINISH | P-1 | - | DRYWALL | P-3 | P-2 | - | - |
| BEDROOM 3 | REFINISH | P-1 | - | DRYWALL | P-3 | P-2 | - | - |
| HALLWAY | REFINISH | P-1 | - | DRYWALL | P-3 | P-2 | - | - |
| STAIRS | TO REMAIN | P-1 | - | EXISTING | P-3 | P-2 | - | - |

WALL FINISH LEGEND

| FINISH CODE | MATERIAL | MFR. | DESCRIPTION/SIZE | COLOR | NOTES |
|-------------|------------|------------------|------------------|-------|-------|
| P-1 | PAINT | SHERMIN WILLIAMS | - | - | - |
| P-2 | PAINT | SHERMIN WILLIAMS | - | - | - |
| P-3 | PAINT | SHERMIN WILLIAMS | - | - | - |
| P-4 | PAINT | SHERMIN WILLIAMS | - | - | - |
| WP-1 | WALL PAPER | - | - | - | - |
| WP-1 | WALL PAPER | - | - | - | - |

FLOOR FINISH LEGEND

| FINISH CODE | MATERIAL | MFR. | DESCRIPTION/SIZE | COLOR | NOTES |
|-------------|----------|------|------------------|-------|-------|
| T-1 | TILE | - | - | - | - |
| T-2 | TILE | - | - | - | - |
| T-3 | TILE | - | - | - | - |
| T-4 | TILE | - | - | - | - |
| T-5 | TILE | - | - | - | - |
| T-6 | TILE | - | - | - | - |
| MB-1 | MARBLE | - | - | - | - |
| HW-1 | HARDWOOD | - | - | - | - |

MISC. FINISH LEGEND

| FINISH CODE | MATERIAL | MFR. | DESCRIPTION/SIZE | COLOR | NOTES |
|-------------|-------------------|-----------|------------------|-------|-------------------------|
| SS-1 | SOLID SURFACE | QUARTZITE | - | - | KITCHEN COUNTERTOPS |
| SS-2 | SOLID SURFACE | - | - | - | FAMILY ROOM COUNTERTOPS |
| CAB-1 | CABINET | - | - | - | - |
| HW-1 | HARDWOOD FLOORING | - | - | - | - |

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